

**VILLAGE OF PITTSFORD
PLANNING & ZONING BOARD OF APPEALS**



Members:

Justin Vlietstra, **Chair**
Joanne Shannon
Susan Lhota
David Marshall
John Kitchura

Attorney: Mindy Zoghlin
Liaison: Justin Leitgeb
Rec. Sec: Dorothea M. Ciccarelli

**PLANNING & ZONING BOARD OF APPEALS SPECIAL MEETING
Wednesday, February 2, 2022 at 6:30 PM**

Tentative Agenda

This agenda is subject to change both in number of applications, order of applications, and/or at the discretion of the Chairperson

1. CONFLICTS OF INTEREST DISCLOSURE

PLANNING BOARD

1. 64 S. Main Street - Site Plan Review

ZONING BOARD

1. 64 S. Main Street – Area Variance
2. Minutes:

**APPLICATION TO THE ZONING BOARD OF APPEALS
VILLAGE OF PITTSFORD
21 NORTH MAIN ST.
PITTSFORD, N.Y. 14534**

Date 12/17/2021

Fee \$ 100.00

Property address 64 S. Main St Church itself does not have street # Tax account # 164.060-02-043.1

Zoning District LDR Property also known as: St. Louis Church of Pittsford

Property owner(s) St Louis Church of Pittsford

Owner's address 64 S. Main St Telephone [REDACTED] (day)
Pittsford, NY 14534 (evening)

Applicant St. Louis Church of Pittsford

Applicant's address Same as above Telephone [REDACTED] (day)
(evening)

Applicant is: owner lessee/tenant agent other: _____

Application for: Area Variance Special Exception Use
 Use Variance Temporary Zoning Permit
 other (describe): _____

Application Information:

1) This application is for relief from or pursuant to Chapter(s) 210-20.6
_____ of the Code of the Village of Pittsford.
Building Inspector's denial dated _____ is attached.

2) Description of variance or other relief sought: Per attached Table comparing existing to
proposed impervious surfaces. We are increasing the total impervious area from 61.0% to 61.3% as
part of this project.

3) All facts showing the necessity for relief: To replace the Church's 60+ year old heating and air-conditioning

system, an engineering firm has exhaustively researched equipment options available. Constraints on the size of access stairs and doorways have eliminated interior options for seamless replacement totally inside the building. Recommended solution is to place main air handling unit outside on the site of current AC condenser, but necessitates installing ductwork going from that unit into Church basement.

4) Difficulties or hardship that would result if this application is denied: Engineering evaluations as to how to replace the Church heating system have been conducted. The ability to fit a new air handler and boiler system into Church mechanical room are constrained by the size of stairs and doorways and have eliminated traditional options. The 60+ years-old heating system is highly inefficient and at risk of failure. System replacement for energy efficiency and to improve interior comfort conditions will not be possible without current design, which requires ductwork connecting outdoor equipment to basement and installing knee-wall to hide/contain it.

5) The following items are attached and are part of this application: _____

Existing and proposed site plans

Partial Site Plans (Front Lawn Plans)

Owner's Statement

I am the owner of the above property, and have read and approve this application. If the applicant is other than the owner, I authorize the applicant to proceed as agent.

Signature M. Mitchell Zygodis Date 11/31/22
Pastor

Applicant's Statement

I hereby certify that the information submitted is, to the best of my knowledge, true and correct.

Signature M. Mitchell Zygodis Date 11/31/22
Rev. Mitchell Zygodis, Pastor

NOTE: If any additional information is required by the Board, during the meeting, it is the responsibility of the applicant to provide such information, prior to the deadline of the subsequent meeting, or it will not be heard.

FOR OFFICE USE ONLY

Public Hearing sign(s) given to applicant _____

Notice of Public Hearing published _____

Neighborhood notification mailed _____

Referral to Monroe Co. Planning: yes (date) _____ no

Hearing date(s) _____

Date of ZBA action _____

Approved _____ Approved w/conditions _____ Denied _____

Date of filing of decision _____

St. Louis Church area variance

I have taken the time to look at the residential properties that are utilized for churches/schools

1. 30 Lincoln - 34,477.3 Sqft with 26,630.7 Sqft. of impervious coverage = 77.24% lot coverage
2. 24 Church – 36,945.7 Sqft. with 22,336.3 Sqft of impervious coverage = 60.45% lot coverage
3. 36 S. Main – 16,958.7 Sqft with 13,268.3 Sqft of impervious coverage = 78.2% lot coverage
4. 21 Church – 13,829 Sqft with 10,479.4 Sqft of impervious coverage = 75.8% lot coverage
5. 21 Lincoln – 14,339.2 Sqft with 10,688 Sqft of impervious coverage = 74.53 % lot coverage
6. St. Louis church's current lot coverage (61%) is well below the average (73.2%) of all of the above properties and proposes to only increase to 61.3%

**APPLICATION TO THE PLANNING BOARD
VILLAGE OF PITTSFORD
21 NORTH MAIN ST.
PITTSFORD, N.Y. 14534**

Date 12/09/2021

Fee \$ 200.00

Property address 64 S. Main St (church does not have a street #) Tax account # 164.060-02-043.1

Zoning District LDR Property also known as: St. Louis Church of Pittsford

Property owner(s) St. Louis Church of Pittsford

Owner's address 64 S. Main St Telephone [REDACTED] (day)
Pittsford, NY 14534 [REDACTED] (evening)

Applicant St. Louis Church of Pittsford

Applicant's address Same as Above Telephone [REDACTED] (day)
[REDACTED] (evening)

Applicant is: owner lessee/tenant agent other: _____

Application for: Site Plan Review Subdivision
 Minor Site Plan Change of Lot Line
 Exterior Lighting Other (describe): _____

Application Information:

1) This application is for site plan approval pursuant to Chapter 210, Zoning, Article XVII of the Code of the Village of Pittsford: Site Plan Approval.

2) Current use of property: Church Proposed use: Same

3) Description of project: The existing church furnace and air handling unit are original to building constructed in 1957 and are in need of replacement. The existing HVAC system consists of an indoor furnace and air handling unit and an outdoor condensing unit. This project will replace the existing system with a single packaged air handling unit located in place of the existing outdoor condensing unit. Interior equipment will be replaced with multiple small boilers that will fit down the stairs.

4) The following items are attached and are part of this application: _____

Existing and Proposed Site Plans

Partial Site Plans (Front Lawn Plans)

Owner's Statement

I am the owner of the above property, and have read and approve this application. If the applicant is other than the owner, I authorize the applicant to proceed as agent.

Signature M. Zygadlo Date 11/3/22
Pastor

Applicant's Statement

I hereby certify that the information submitted is, to the best of my knowledge, true and correct.

Signature M. Zygadlo Date 11/3/22
Rev. Mitchell Zygadlo Pastor

NOTE: If any additional information is required by the Board, during the meeting, it is the responsibility of the applicant to provide such information, prior to the deadline of the subsequent meeting, or it will not be heard.

FOR OFFICE USE ONLY

Public Hearing sign(s) given to applicant _____
Notice of Public Hearing published _____
Neighborhood notification mailed _____
Referral to Monroe Co. Planning: yes (date) _____ no
Hearing date(s) _____
Date of PB action _____
Approved _____ Approved w/conditions _____ Denied _____
Date of filing of decision _____

NOT FOR CONSTRUCTION

It is a violation of New York Education Law Article 145 Sec. 2209, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way, if an item bearing the seal of an architect, engineer, or land surveyor is altered; the altering architect, engineer, or land surveyor shall file to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.

St Louis Church

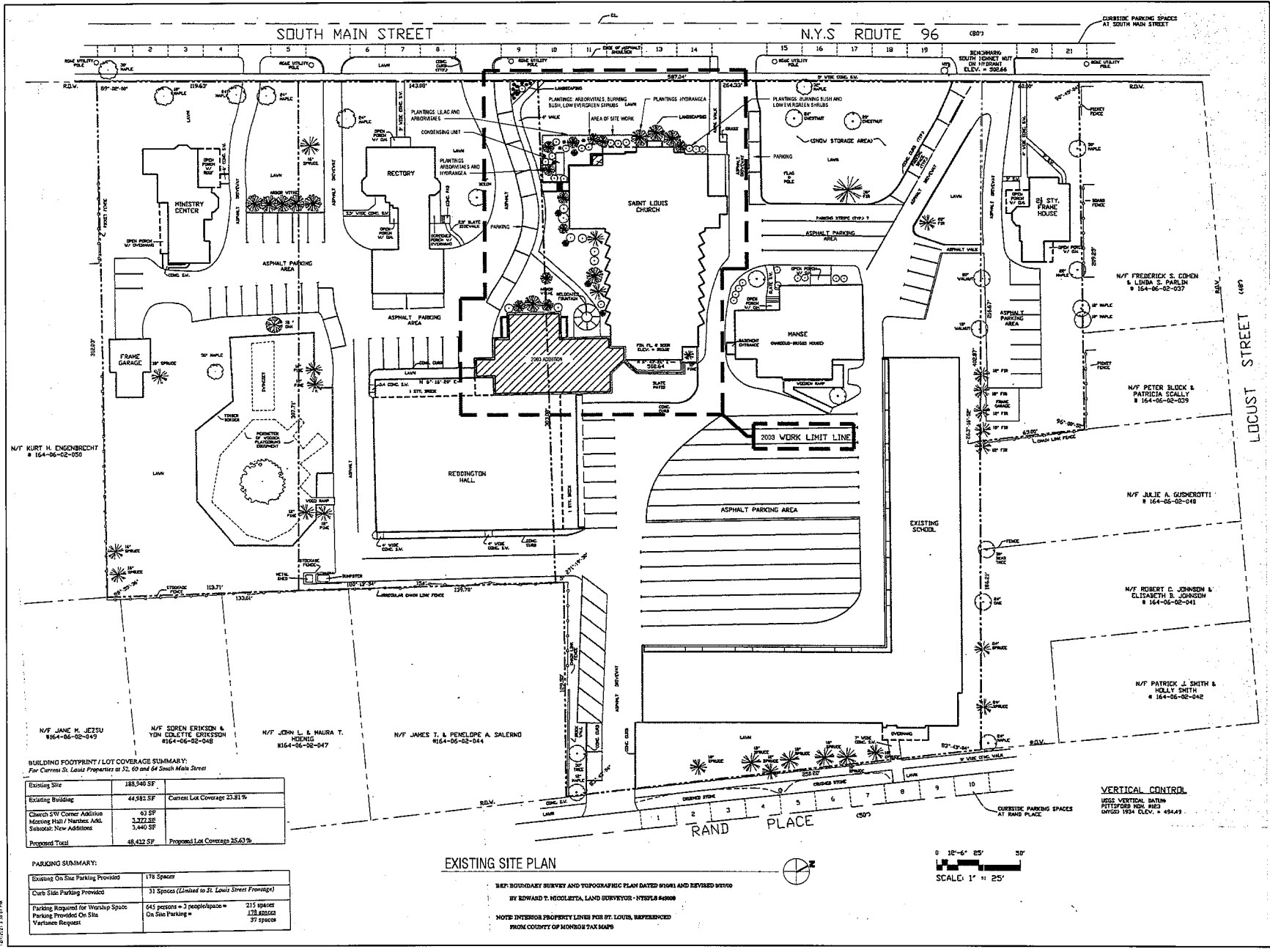
Air Handling Unit Replacement
87 S Main St Pittsford, NY 14534

NO	DATE	DESCRIPTION
PROJECT NUMBER	2212491	
DRAWN BY	DB	
REVIEWED BY	CGR	
ISSUED FOR	100% CD - PROGRESS DRAWINGS	
DATE	DECEMBER 2021	
DRAWING NAME		

EXISTING SITE PLAN

DRAWING NUMBER

G003



BUILDING FOOTPRINT / LOT COVERAGE SUMMARY:
For Current St. Louis Properties at 52, 60 and 64 South Main Street

Existing Site	188,940 SF	
Existing Building	44,981 SF	Current Lot Coverage 23.81%
Church SW Corner Addition	63 SF	
Moving Hall / Nambex Add.	3,273 SF	
Seasonal New Addition	3,440 SF	
Proposed Total	48,422 SF	Proposed Lot Coverage 25.63%

PARKING SUMMARY:

Existing On Site Parking Provided	178 Spaces
Curb Side Parking Provided	31 Spaces (Limited to St. Louis Street Frontage)
Parking Required for Worship Space	643 persons = 3 people/space = 215 spaces
Parking Provided On Site	178 spaces
Variances Requested	On Site Parking = 37 spaces

EXISTING SITE PLAN

REF: BOUNDARY SURVEY AND TOPOGRAPHIC PLAN DATED 01/08/11 AND REVISED 02/10/10
BY EDWARD T. NICOLETTA, LAND SURVEYOR - NYSEPL# 46908

NOTE: INTERIOR PROPERTY LINES FOR ST. LOUIS, REFERENCED FROM COUNTY OF MONROE TAX MAPS







NOT FOR CONSTRUCTION

It is a violation of New York Education Law Article 145, Sec. 7209, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter in any way, if an item bearing the seal of an architect, engineer, or land surveyor shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.

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St Louis Church

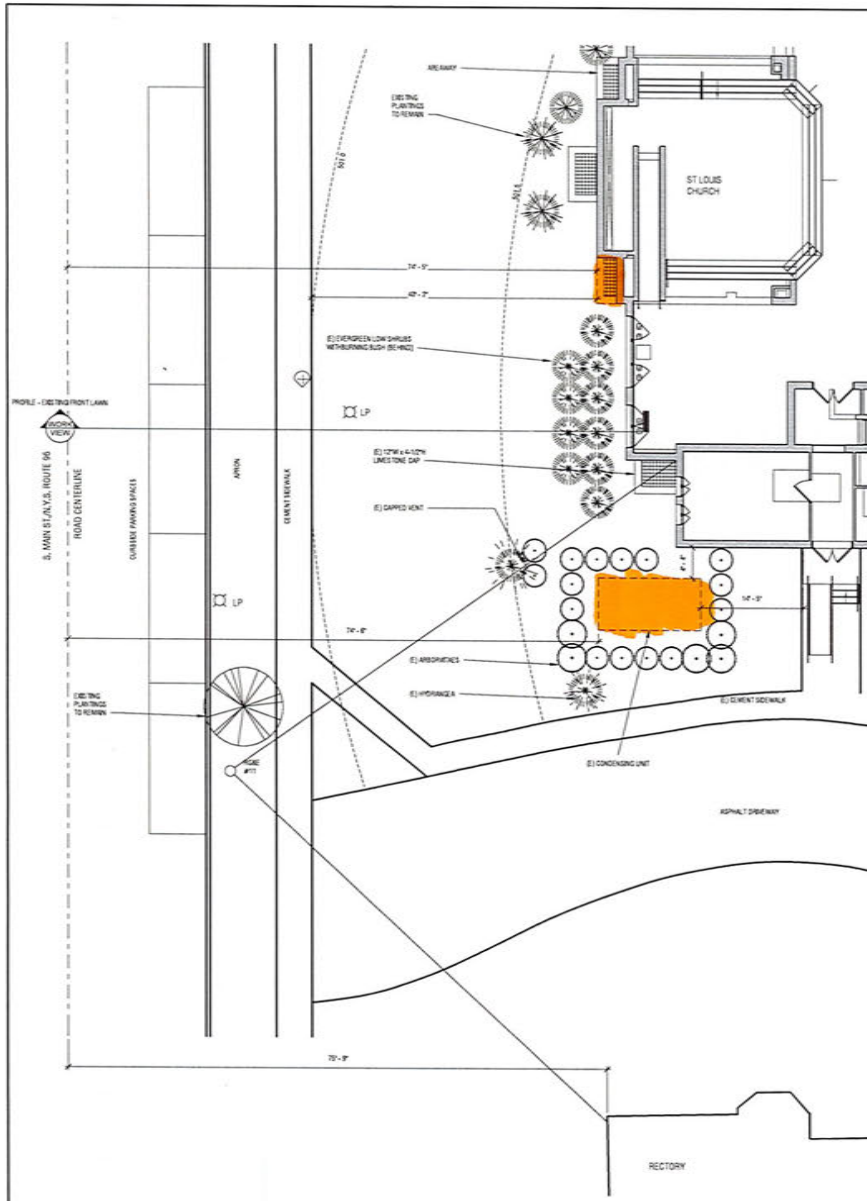
Air Handling Unit Replacement
62 S Main St Pittsford, NY 14534

NO.	DATE	DESCRIPTION
Revisions		
PROJECT NUMBER		2212491
DRAWN BY		CG
CHECKED BY		CGS
ISSUED FOR		100% CD - PROGRESS DRAWINGS
DATE		DECEMBER 2021
DRAWING NAME		

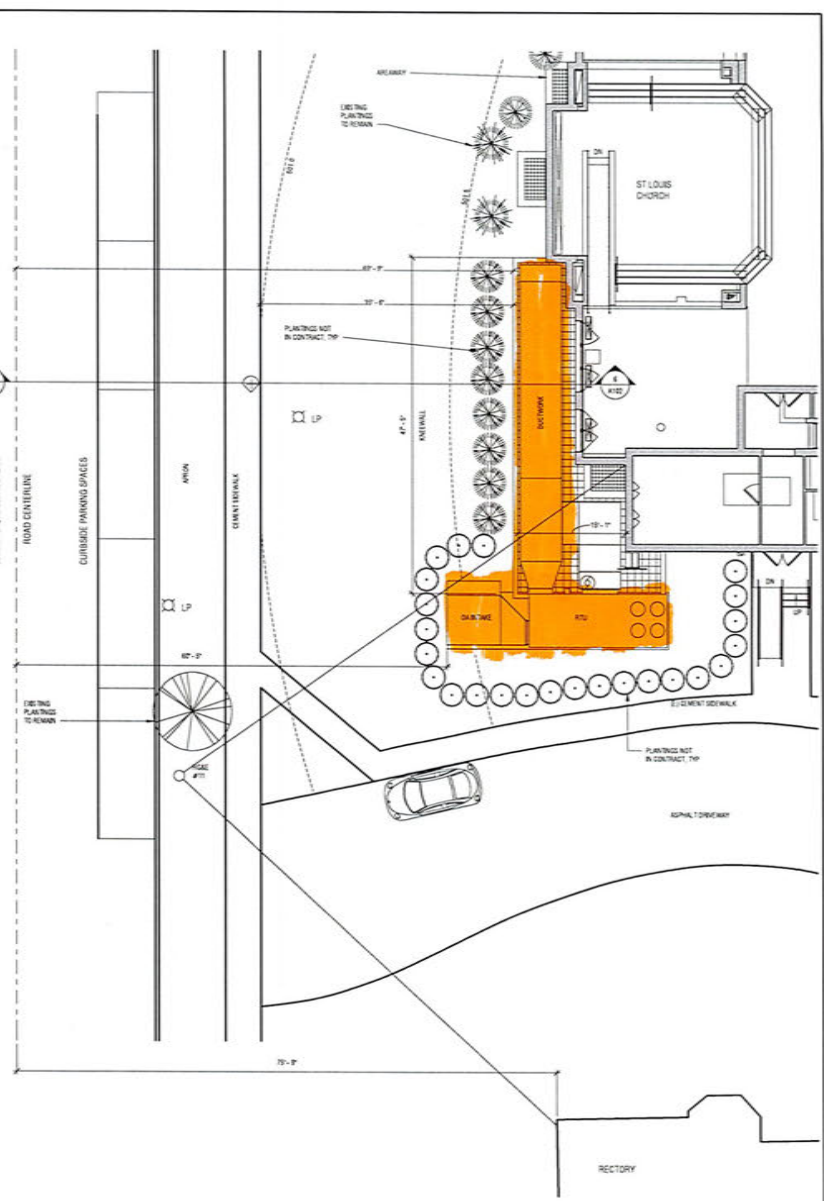
FRONT LAWN PLANS

DRAWING NUMBER

A101



2 EXISTING PLAN
A101 SCALE: 1/8" = 1'-0"

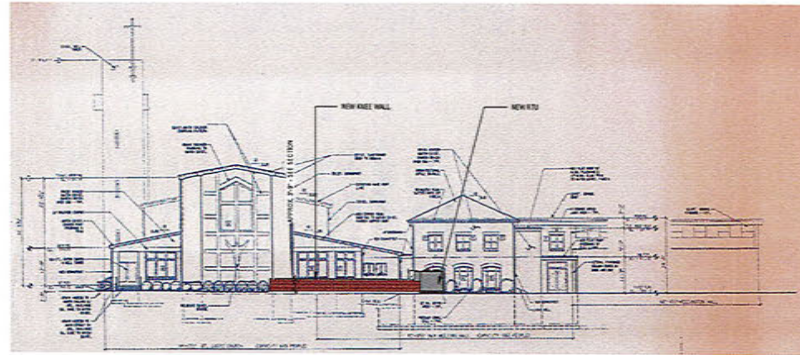


1 PROPOSED PLAN
A101 SCALE: 1/8" = 1'-0"

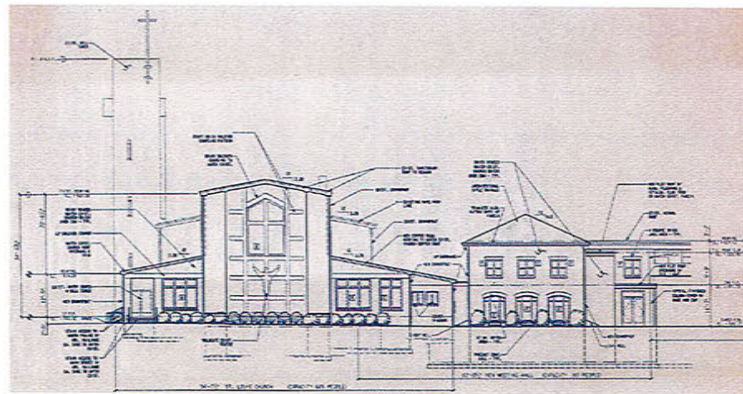
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NOT FOR CONSTRUCTION

It is a violation of New York Education Law Article 145 Sec. 7209, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way, if an item bearing the seal of an architect, engineer, or land surveyor is altered, the altering architect, engineer, or land surveyor shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.



1 ELEVATION - WEST
A104 SCALE: 3" = 1'-0"



2 EXISTING ELEVATION - WEST
A104 SCALE: 3" = 1'-0"

St Louis Church

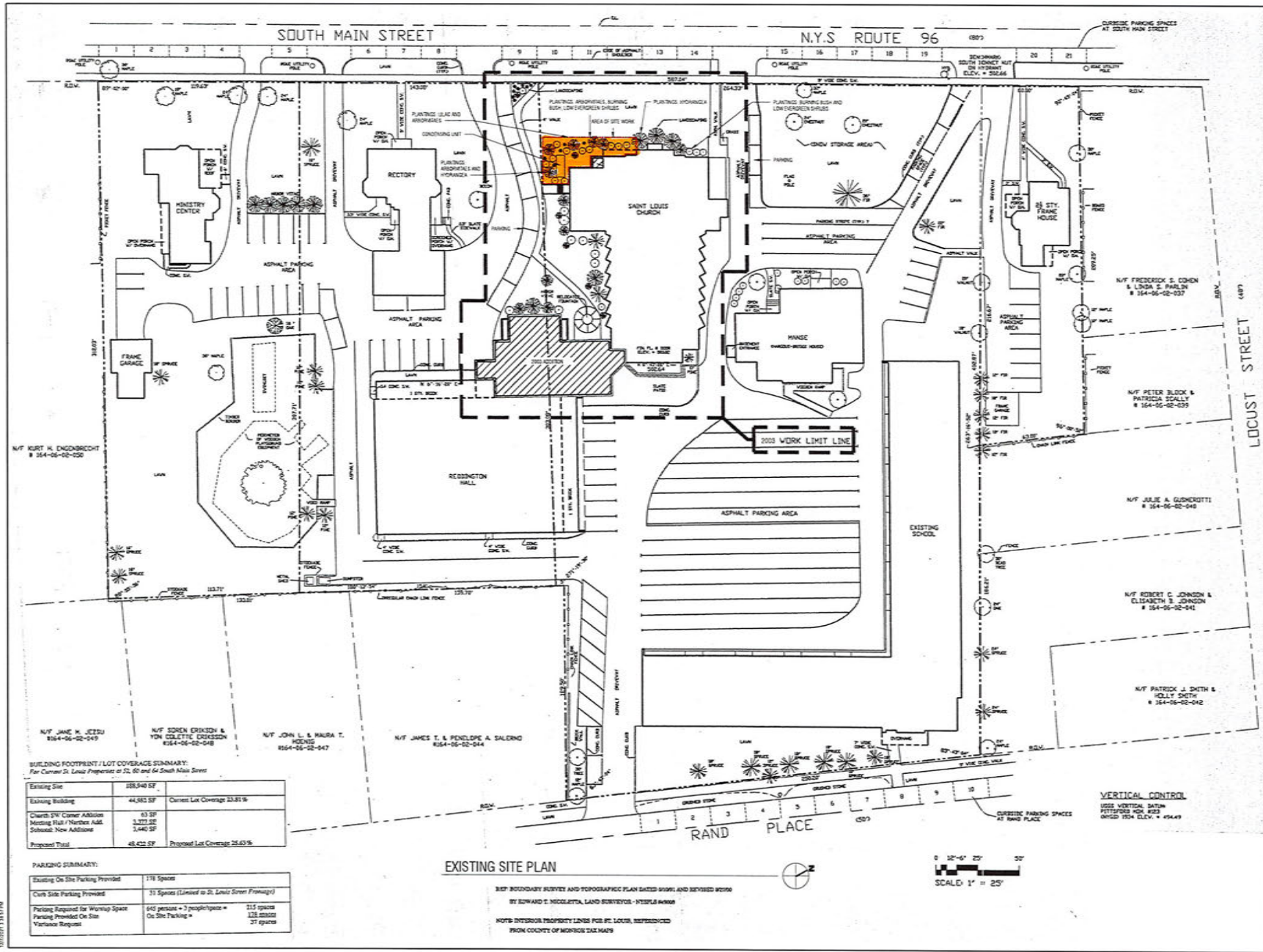
Air Handling Unit Replacement
82 S Main St Ptscht, NY 14534

NO.	DATE	DESCRIPTION
Revisions		
PROJECT NUMBER:		2212491
DRAWN BY:		DB
REVIEWED BY:		COB
SCALE FOR:		100% CO - PROGRESS DRAWINGS
DATE:		DECEMBER 2021
DRAWING NAME		

ELEVATIONS

DRAWING NUMBER

A104



BUILDING FOOTPRINT / LOT COVERAGE SUMMARY:
 For Curves to South Property at 52, 60 and 64 South Main Street

Existing Site	258,340 SF	
Existing Building	44,982 SF	Current Lot Coverage 17.41%
Church 3rd Corner Addition	63 SF	
Meeting Hall / Nardella Add.	3,371 SF	
Subtotal: New Additions	3,434 SF	
Proposed Total	48,412 SF	Proposed Lot Coverage 18.74%

PARKING SUMMARY:

Existing On Site Parking Provided	178 Spaces
Church Site Parking Provided	31 Spaces (Linked to St. Louis Street Frontage)
Parking Requested for Working Space	145 spaces = 3 people/space = 435 spaces
Parking Provided On Site	178 spaces
Variance Request	27 spaces

LaBella
 Powered by partnership.

300 State Street, Suite 201
 Rochester, NY 14614
 585-454-6110
 labellapc.com

NOT FOR CONSTRUCTION

It is a violation of New York Education Law Article 145 Sec. 7(2)(b), for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to affix an item in any way, if an item bearing the seal of an architect, engineer, or land surveyor is affixed, the affixing architect, engineer, or land surveyor shall affix to the item their seal and notation "affixed by" followed by their signature and date of such affixation, and a specific description of the alteration.

St Louis Church

Air Handling Unit Replacement
 62 S Main St Potosi, NY 14534

NO.	DATE	DESCRIPTION
Revisions		
PROJECT NUMBER:	22-2491	
DRAWN BY:	CS	
REVIEWED BY:	CSB	
SCALE FOR:	100% CD - PROGRESS DRAWINGS	
DATE:	DECEMBER 2021	
DRAWING NAME:		

EXISTING SITE PLAN

DRAWING NUMBER

G003

NOT FOR CONSTRUCTION

It is a violation of New York Education Law Article 145 Sec. 7205, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter in any way, or to cause to be altered in any way, any plan, drawing, or specification, or any other document, which bears the seal of an architect, engineer, or land surveyor is altered, the altering architect, engineer, or land surveyor shall affix to the same their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.

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St Louis Church

Air Handling Unit Replacement

62 S Main St Pittsford, NY 14534

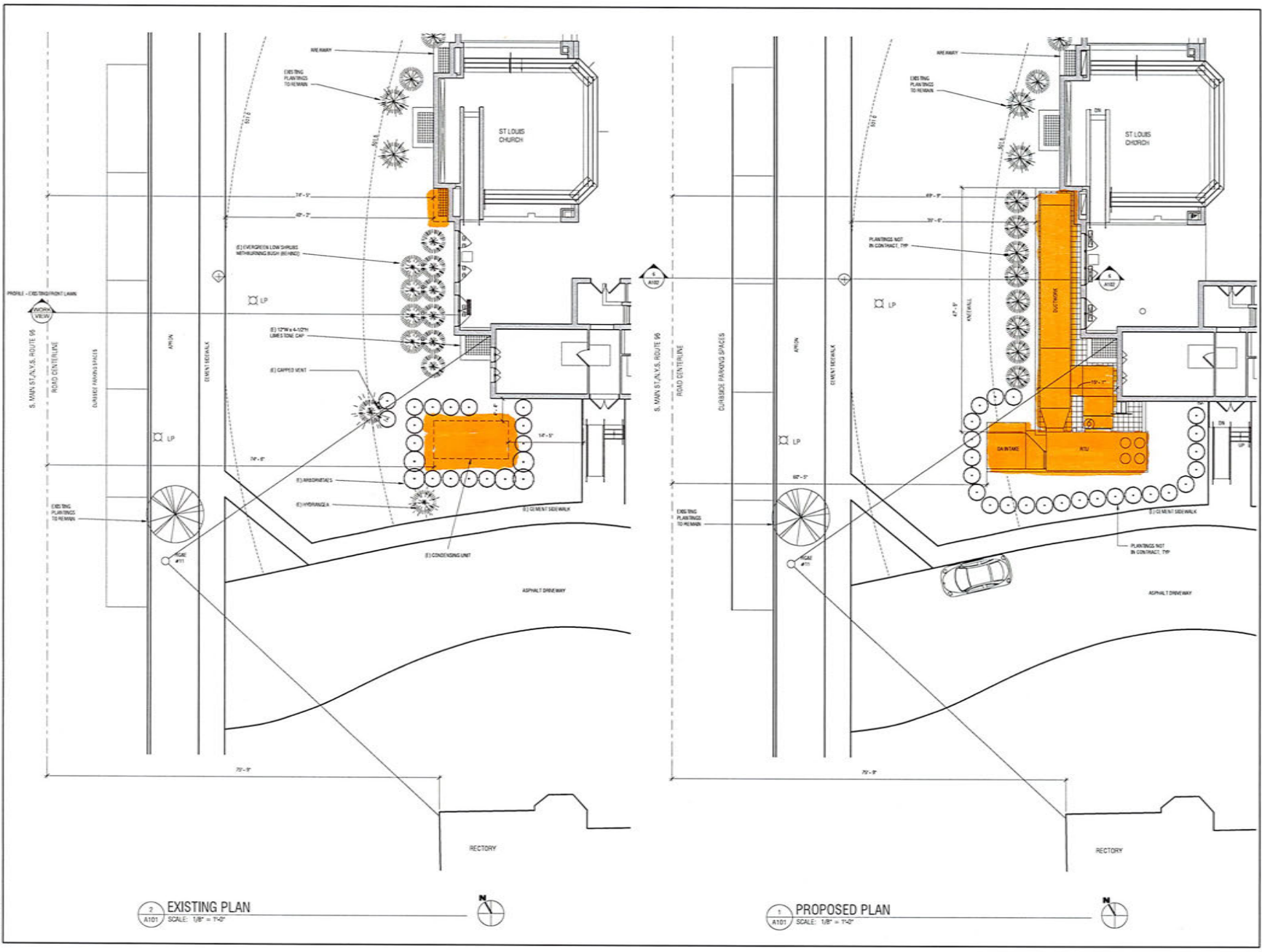
NO.	DATE	DESCRIPTION

PROJECT NUMBER: 2212491
 DRAWN BY: DB
 REVIEWED BY: CGB
 REVISION: 100% CD - PROGRESS DRAWINGS
 DATE: DECEMBER 2021
 DRAWING NAME:

FRONT LAWN PLANS

DRAWING NUMBER

A101



2 EXISTING PLAN
SCALE: 1/8" = 1'-0"

1 PROPOSED PLAN
SCALE: 1/8" = 1'-0"

1/15/2022 2:46:51 PM

NOT FOR CONSTRUCTION

It is a violation of New York Education Law Article 148, Sec. 7209, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way, if an item bearing the seal of an architect, engineer, or land surveyor is altered, the altering architect, engineer, or land surveyor shall affix to the item their seal and notation, followed by their signature and date of such alteration, and a specific description of the alteration.

St Louis Church

Air Handling Unit Replacement
62 S Main St Pittsford, NY 14534

NO	DATE	DESCRIPTION
Revisions		
PROJECT NUMBER: 2212491		
DRAWN BY: DB		
CHECKED BY: CGB		
DESIGNED FOR: KOPOLCO - PROGRESS DRAWINGS		
DATE: DECEMBER 2021		
DRAWING NAME:		

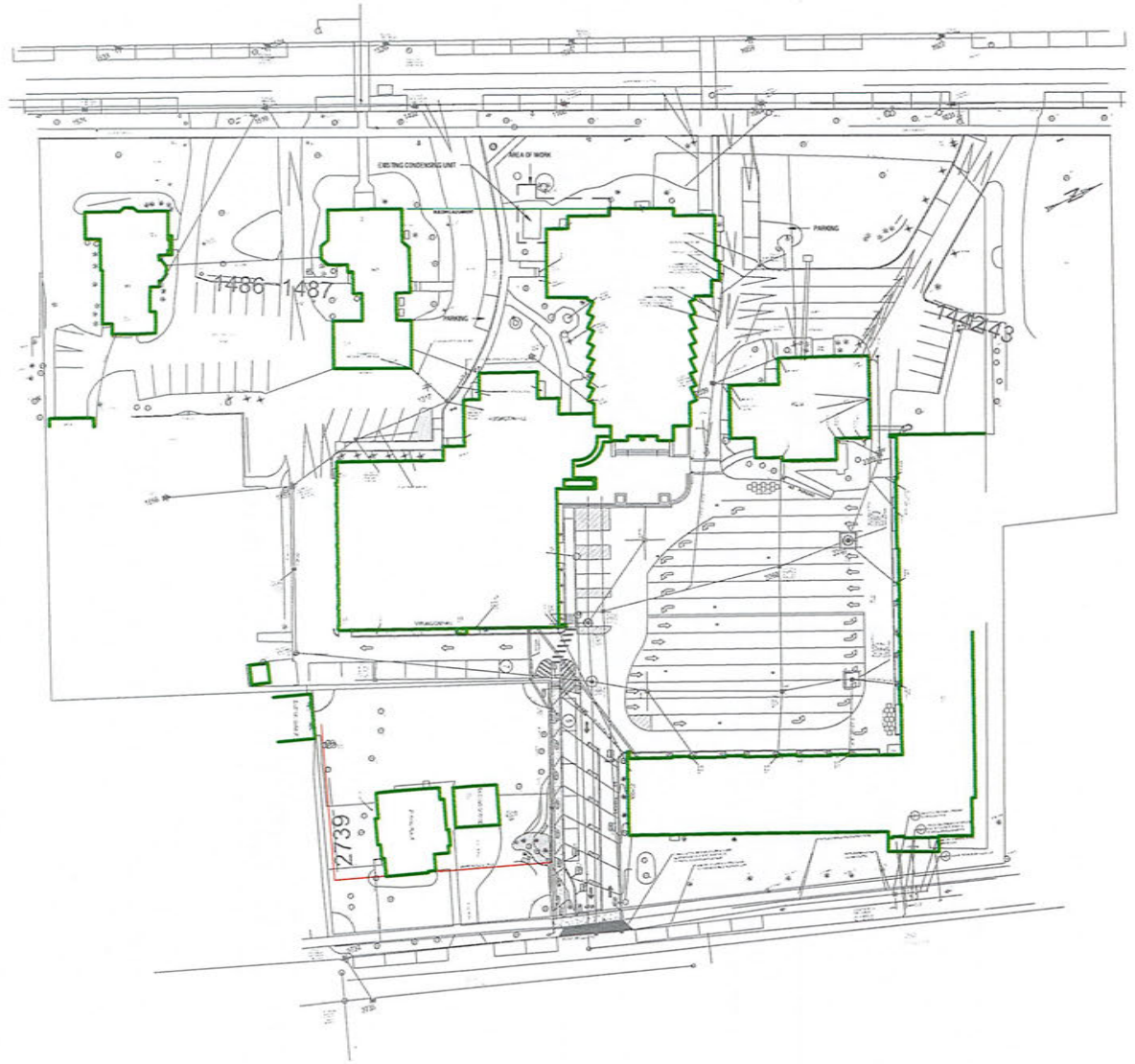
SITE PLAN - PROPOSED

DRAWING NUMBER:

G004



SITE PLAN - PROPOSED



SITE PLAN - EXISTING

NOT FOR CONSTRUCTION

It is a violation of New York Education Law Article 14B, Sec. 7209, for any person, unless acting under the direction of a licensed architect, professional engineer, or land surveyor, to alter an item in any way, if an item bearing the seal of an architect, engineer, or land surveyor is altered, the altering architect, engineer, or land surveyor shall affix to the item their seal and notation "altered by" followed by their signature and date of such alteration, and a specific description of the alteration.

St Louis Church

Air Handling Unit Replacement
62 S Main St Pittsford, NY 14534

NO.	DATE	DESCRIPTION
Revisions		
PROJECT NUMBER: 2212451		
DRAWN BY: DB		
REVIEWED BY: CGB		
ISSUED FOR: 100% CD - PROGRESS DRAWINGS		
DATE: DECEMBER 2021		
DRAWING NAME:		

EXISTING SITE PLAN

DRAWING NUMBER

G003



December 9, 2021

Planning Board
Village of Pittsford
21 North Main St
Pittsford, NY 14534

RE: St. Louis Church - Pittsford – Church HVAC System Replacement
Letter of Intent

To Whom It May Concern:

The intent of this project is to complete the replacement of the Church HVAC system that is comprised of an indoor air handler and outdoor condensing unit providing cooling. The air handling unit is original to the building installed in 1957. The condensing unit, that added cooling to the system, was installed later. Both of these core components of the existing Church HVAC system are well beyond their useful life and are in need of replacement.

This project will replace both the indoor air handling unit and the outdoor condensing unit with a single packaged air handling unit that will be located in place of the existing outdoor condensing unit. An areaway will be built with a short outdoor knee wall to hide the ductwork running from the air handling unit into the church mechanical room through the existing outside air ventilation intake areaway.

The church will be providing landscaping to hide the new outdoor air handling unit in a similar fashion to how the existing outdoor condensing unit is screened.

We look forward to presenting this design to the Village of Pittsford Historic Preservation Board and the Planning Board. Please let us know if you require any further information associated with this project.

LaBella Associates

Casey Bernhard, PE
Mechanical Discipline Leader

VILLAGE OF PITTSFORD SITE PLAN CHECK LIST

Email: buildinginspector@villageofpittsford.com

Tel: 585-586-4332

Form to be completed by the applicant and submitted with the application. Applications not accompanied by a completed checklist, or missing materials specified in the checklist, shall be considered incomplete.

Building Inspector, or Designee to review, date and initial checklist as to its being fully complete.

Project name and location: Church Air Handling Unit Replacement, St Louis Church

Applicant Name: St Louis Church

Date Initial:

- completed, signed application form
- Fee paid
- 01/03/22 CGB Permission from property owner
- 01/03/22 CGB Describe intended use and how it complies with Village needs, plans, and open space plans
- 01/03/22 CGB 2 sets of folded drawings of stamped drawings, 1 digital copy
- SEQRA EAF Part 1 form (if required)
- Coastal Assessment Form if Type 1 action within waterfront area
- 2 Copies of the Drainage Report. Drainage reports shall include the following:
 - A reasonable existing condition analysis for 1, 10 and 100 year events with consistent backup for drainage areas, soil types, curve number, development, representative Tc flow path information (slope, surface...)
 - An appropriate detailed proposed condition analysis with all required backup.

Regulatory analysis-identify various regulatory requirements and demonstrate compliance.

 The storm sewer analysis should be completed with backup for the various sub-elements, consider tail water conditions and downstream constraints.

Site plan:

CGB Project location map showing subject property and applicant's entire adjacent holdings, and properties, subdivisions, streets and easements within 500' of the applicant's property under consideration

 Site plan reduced to 11x17 inches for neighborhood notification

Drawing title block:

CGB Applicant's name and address

 Seal and signature, address, phone number, and e-mail address of licensed design professional

 Approval signature lines for the Commissioner of Public Works, Chief Engineer, Fire Marshall

 Planning Board approval, Zoning or APRB if needed

CGB North arrow and plan scale

CGB Original data and revision block

Date and Initial:

Zoning data:

- 01/03/22 CGB Zoning district of subject property and all adjoining properties
- 01/03/22 CGB Zoning table including existing and proposed setbacks, lot area, lot coverage, parking requirements, pavement coverage, greenspace coverage, etc.
- _____ Use variances, area variances, special use permits, APRB approvals previously granted
- _____ Set back limits shown
- 01/03/22 CGB Total gross floor area of all buildings

Site data:

- _____ Owner name(s), address, and tax account number for subject property and adjoining properties
- 01/03/22 CGB Land area in square-feet and acres
- 01/03/22 CGB Impervious area in square feet and percentage
- _____ Project phasing

Site features:

- 01/03/22 CGB Property boundaries plotted to scale with bearings and distances shown
- 01/03/22 CGB Existing and proposed building with number of floors and gross square-footage labeled
- _____ Watercourses, wetlands, flood zones, coastal erosion hazard areas
- _____ Paved and unpaved parking areas with striping shown
- 01/03/22 CGB Walkways, benches, trash cans, bike racks, and other pedestrian amenities
- 01/03/22 CGB Fences, guardrails, walls
- _____ Freestanding signs
- _____ Dumpster location and enclosure
- 01/03/22 CGB HVAC equipment
- 01/03/22 CGB Adjoining structures and land uses

Roadway data:

- _____ Street names, right-of-way width, and roadway jurisdiction shown
- _____ Sidewalks, roadway signage, street lights, utility poles
- _____ Curb cuts for subject property and those on properties adjacent to and across the street from the subject property.
- _____ Site distances from project curb cuts
- _____ Distance to nearest RTS bus stop
- _____ Monumentation and stationing

Date and Initial:

Grading plans:

- _____ Existing and proposed grades certified by a licensed land surveyor
- _____ Grading shown 100' beyond project limits
- _____ Retaining walls

- -----Topsoil stockpile locations
- -----Finished floor elevations for existing and proposed structures
- -----Erosion control plans

Utility plans:

- All existing and proposed utilities shown
- Sizes and materials shown
- Inverts, rim/grate elevations shown
- Pipe slope and direction of depicted
- Private wells and sewage disposal system shown (existing and proposed)

Engineering data:

- -----Percolation test data and locations
- ----- Deep hole test data and locations
- -----Cut/fill calculations

Landscape plan:

- 01/03/22 CGB -----Limit of clearing shown
- 01/03/22 CGB -----Proposed planting shown
- -----Key indicating species, size, mature height and width, and spacing requirements
- -----Planting details
- -----Tree protection details
- -----Stamped by New York State Licensed Landscape Architect

Lighting plan:(Section 117 village code)

- -----Location of all existing and proposed lighting fixtures
- -----Mounting height indicated
- -----Details and/or catalog cuts of proposed light fixture
- -----Bulb wattage and lumen output
- -----Light color in Kelvin

Architectural elevations:

- 01/03/22 CGB -----Elevations show all sides of proposed buildings
- 01/03/22 CGB -----Dimensions, colors, and materials shown
- -----Material samples available for planning board meeting

Date and Initial:

Details:

- Standard construction details in the Village of Pittsford local code
- Dumpster enclosure details including dimensions, materials, and colors.
- Fence details including height and materials
- Signage details (ADA signage, fire lane signage)

Easements:

- Dimensions shown
- Name of easement holder
- Labeled “existing” or “proposed”
- Liber and page of existing easements labeled

Energy requirements:

- RES-check

Complete LWRP Coastal Assessment Form (if located in one of the villages waterfront areas)



November 12, 2020

Sally Schrecker
Operations Manager
St. Louis Church
64 South Main St
Pittsford, NY 14534

RE: St. Louis Church - Pittsford – Church HVAC System Acoustical Study

SUMMARY

LaBella Associates, D.P.C. (LaBella) performed sound measurements around the outdoor condensing unit at St. Louis Church. Measured sound levels at 20 feet from the unit were 65-66 dBA. At the sidewalk on South Main Street, the measured sound level was 58 dBA in the complete absence of road traffic. However, sound levels at the sidewalk were as high as 70-80 dBA when cars, trucks, and motorcycles were passing by on South Main Street, which was almost constant during the LaBella visit. While standing at the sidewalk on South Main St., the existing condensing unit was inaudible most of the time, due to the dominant traffic noise contribution.

Sound levels from a future 40-ton replacement unit were calculated using a computer sound propagation model. Modeling results indicate that future sound levels attributable to the future unit may be 3-dBA higher than the existing unit. Humans perceive a 3-dBA increase as noticeable but not necessarily objectionable. A 3-dBA increase is not expected to result in adverse noise impacts at nearby residences or on church property, particularly considering the dominance of traffic noise. The future unit will still be relatively unnoticed when compared to local traffic noise. This letter describes the findings in more detail.

MEASUREMENTS

LaBella staff visited St. Louis Church on September 24, 2020. Conditions were good for outdoor sound measurements, with no precipitation and almost calm winds. The indoor temperature was set to activate the unit, which operated continuously for almost two hours. All four fans operated at high speed, as well as the compressor. The fans are by far the dominant source of audible sound. The Larson Davis 831C precision sound level meter used meets the ANSI S1.4, Type 1 specification. The meter was field calibrated before and after the measurements.

Measurements were conducted at a distance of 21 feet from the long-axis and narrow-axis dimensions of the unit (the narrow end faces S. Main St.), as shown in Figure 1. The steady-state sound level was 65 dBA in the direction of S. Main Street and 66 dBA in the direction of the entry driveway. Sound from the unit was dominant, though care was taken to conduct measurements during a period with no vehicle passbys on S. Main Street. The measured steady-state sound level on the sidewalk along S. Main Street was 58 dBA.



Figure 1: Sound Measurements at 21 feet



Figure 2: Measurement Location at 21 feet from Unit



SOUND MODEL

LaBella staff also conducted near-field (“close in”) measurements at 3 feet from the fans and compressor casing. The nearfield data were used to calculate a sound power level for the fan discharge and inlet areas. Sound propagation modeling for the unit was conducted using the CadnaA (Computer Aided Noise Abatement) software program from DataKustik GmbH. CadnaA is an industry-standard software which accounts for nearby obstacles and reflective surfaces (buildings, pavement), as well as noise source directivity. Figure 3 shows the calculated sound levels at 21 feet and at the sidewalk. Calculated levels are within 0-1 dBA of measured levels, showing good model/measurement agreement.

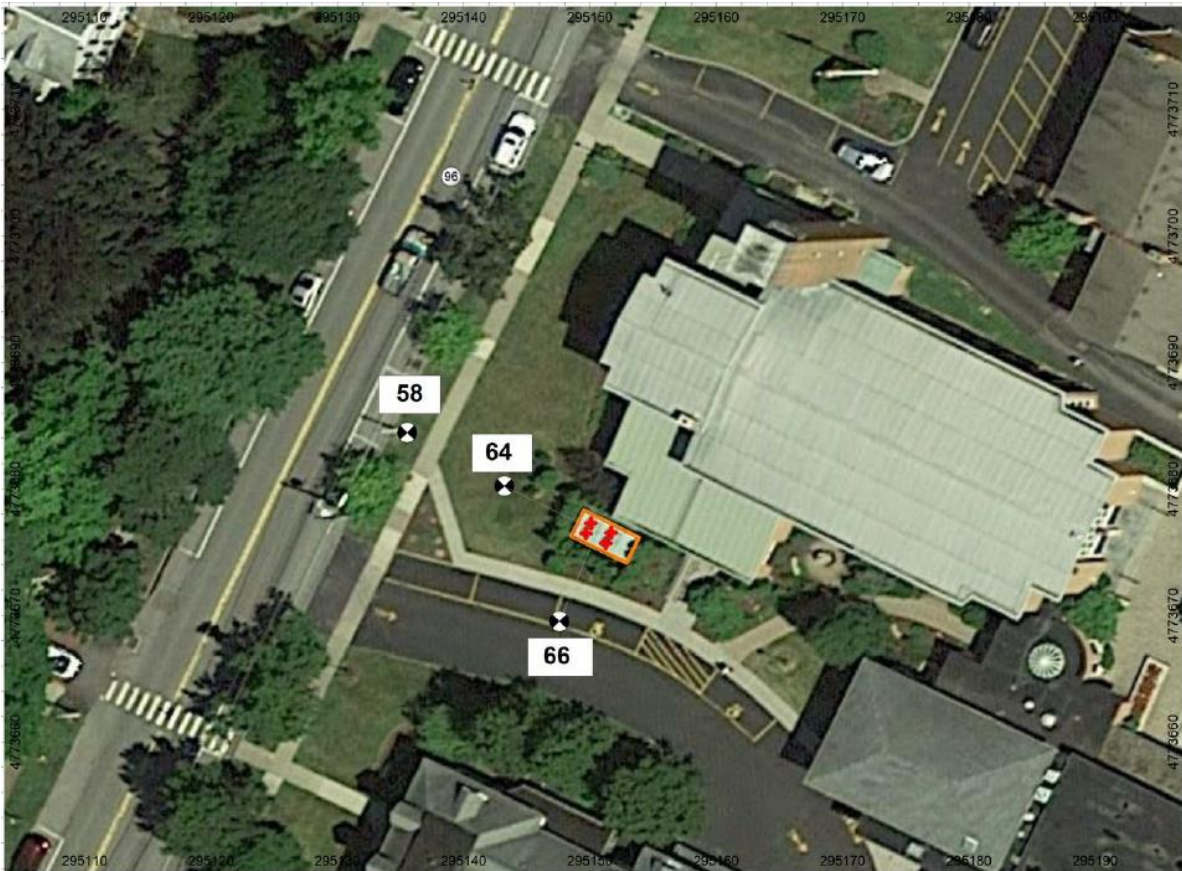


Figure 3: Calculated A-Weighted Sound Pressure Levels for Existing Unit (dBA)

A replacement unit has not yet been officially selected. However, the current proposed equipment is a 40-ton Trane Voyager, which would be installed on the existing condensing unit pad. The unit will have a mixing box, filter section, (DX) cooling coil, supply fan and return/relief fan. The published sound power levels for the new unit and the existing unit are compared in Table 1.



Table 1: Sound Power Levels for Existing Unit and Future Unit

	Octave Band Sound Power Level (dB) – (reference value is 10 ⁻¹² Watts)								dBA
	63	125	250	500	1000	2000	4000	8000	
Existing Unit (Measured)	103	98	98	94	92	88	84	80	97
Trane Voyager 40 Ton (published)	104	97	96	97	95	93	88	79	100

Sound power is the amount of sound energy (in Watts) emitted by a source. Sound power is typically expressed as sound power level in decibels (dB). Table 1 shows that the proposed future unit has slightly higher sound power levels in several sound octave band frequencies. On an overall A-weighted basis, the proposed unit sound power level is 3-dBA higher than the existing unit. Figure 4 shows the calculated sound levels for the proposed unit at the 21-foot reference distances and at the sidewalk.



Figure 4: Calculated A-Weighted Sound Pressure Levels for Future Proposed Unit (dBA)

Calculated sound pressure levels for the proposed unit are 3 dBA higher than current-day measured levels.



CONCLUSIONS

Calculated sound levels from the proposed 40-ton unit are 3 dBA higher than current-day baseline conditions at the 21-foot reference locations. A 3-dBA increase would be noticeable if standing close to the unit, but it would likely not be objectionable. It is worth noting that equipment manufacturers routinely add safety margins to their published sound data, so the sound power levels shown in Table 1 may be conservatively high.

The Village of Pittsford has a nuisance-based, “qualitative” noise standard (Part II, Chapter 133) which prohibits, “the creation of any unreasonably loud, disturbing or unnecessary noise in the village.” The Town of Pittsford noise standard is violated if a machine is, “Audible beyond the property line of the premises upon which it is being used between the hours of 11:00 p.m. and 7:00 a.m.” Neither standard cites a specific decibel (dB) limit that may not be exceeded.

Simultaneous operation of all four condenser fans will only occur when outdoor ambient temperatures are very warm (above 85 degrees F). This will only occur on a few very warm summer evenings/nights during the year. In the complete absence of traffic and other ambient noise (late at night), the existing condensing unit fans may be audible at nearby homes, but this will not be a frequent occurrence.

To put the condensing unit sound emission in perspective, the sound model calculates a contribution of 50 dBA from the existing condensing unit at the exterior of the closest home. A level of 50 dBA is no louder than a conversation between two people (which is closer to 60 dBA). If the existing outdoor condensing unit is not currently causing neighbor noise complaints, a future 3-dBA increase in sound emission is unlikely to result in new noise complaints.

Even if sound levels attributable to the future unit were 61 dBA at the sidewalk, this would still be relatively low compared to traffic noise in the area. While conducting sound measurements on the sidewalk, LaBella staff spent over one (1) hour trying to capture a brief period without traffic noise. Traffic on South Main Street was almost constant, with sound from passing cars and trucks routinely causing sound levels of 70-80 dBA. While standing at the sidewalk, the condensing unit was inaudible most of the time. The proposed 40-ton unit, even if it does result in a 3-dBA increase at the sidewalk, will still be inaudible when compared to traffic noise.

At this time, we do not recommend any special noise mitigation (barriers, etc.) for the future unit.

If you have questions, please contact me directly at (518) 903-8400 or dbell@labellapc.com.

Respectfully submitted,

LABELLA ASSOCIATES, D.P.C.

Damien Bell

Sr. Acoustical Engineer

VILLAGE OF PITTSFORD

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Schoen Place waterfront at sunrise

VILLAGE OF PITTSFORD NOTICE OF PUBLIC HEARING

A Public Hearing will be held on Wednesday, January 19, 2022, at 6:30 PM on an application to the Planning Board & Zoning Board of Appeals from St. Louis Church, 62 S. Main Street, for site plan review pursuant to code section 210-34.3C and a variance pursuant to code section 210.20.6 of the Code of the Village of Pittsford. If the meeting is unable to be held due to the Coronavirus pandemic it will be held on Wednesday, January 19, 2022, at 6:45 PM per video conferencing link identified.

Pursuant to the State Legislature Chapter 417 of the Laws of 2021 the Village Hall will be closed to the public during the Board of Trustees Meeting. The Members of the Planning & Zoning Board of Appeals will be present at Village Hall or participating from their respective homes for this public hearing via video conference. If a Board member is participating from home, that home will be closed to the public as well for the reasons stated above.

The public can watch the live meeting online from the videoconferencing link made available on the Village of Pittsford's website or Facebook page or attend in person at 21 North Main Street, Pittsford, NY 14534. <https://www.villageofpittsford.com>.